

# ELITEGROUP

INSPECTION PROFESSIONALS



3376 Temescal Ave, Norco, CA 92860  
Inspection prepared for: Ronald Morgan  
Real Estate Agent: Ruben Muro - Keller Williams (Corona)

Date of Inspection: 2/5/2020 Time: 10:00 AM  
Age of Home: 1956 Size: 1560  
Weather: Sunny  
Order ID: 199247

Inspector: Nate Armendariz  
Phone: 909-278-1463



### Summary Page

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expenses to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all of the pages of the report as the summary alone does not explain all the issues. Further evaluation is recommended for any item written in red text or marked "needs to be serviced" on this report -- further evaluation often times will allow a contractor to find additional items needing repair beyond the scope of the home inspection. Failure to further evaluate any item as recommended releases us of any liability.

INTERIOR		
Page 9 Item: 4	Floor Conditions	• Wood flooring is swollen/cupping/lifting - evidence of a past moisture problem - needs to be serviced
Page 10 Item: 5	Window Conditions	• Did not lock/latch properly - needs to be serviced
**Page 14 Item: 13	Carbon Monoxide Detectors	• Missing at hall - needs to be installed
BEDROOMS		
Page 16 Item: 6	Window Conditions	• Broken sash cables or springs- unsafe - needs to be serviced • Stuck in position - needs to be serviced
**Page 18 Item: 11	Smoke Detectors	• Missing - needs to be installed
BATHROOMS		
**Page 23 Item: 17	Plumbing	• Visible leaking under sink - needs to be serviced
KITCHEN		
Page 26 Item: 5	Window Conditions	• Stuck in position - needs to be serviced
Page 27 Item: 8	Cabinets	• Stained/blistered area(s) - moisture present at time of inspection - needs to be serviced/further evaluated
Page 28 Item: 10	Dishwashers	• Leaking from the front door - needs to be serviced
**Page 29 Item: 12	Plumbing	• Visible leaking under sink - needs to be serviced
Page 31 Item: 19	GFCIs	• Test did not operate - needs to be serviced
LAUNDRY AREA		
**Page 32 Item: 4	Plumbing	• Drain trap is clogged - needs to be serviced
WATER HEATERS		
Page 37 Item: 3	Plumbing	• Corrosion present - signs of wear - monitor for moisture
ELECTRICAL/GAS SERVICE		
Page 42 Item: 4	Breakers	• Panel is partially labeled - the inspector does not check for accuracy of labels, it is recommended to label all breakers
ATTIC AREA		
**Page 44 Item: 2	Structure	• Evidence of rodents/pests - recommend pest services inspection for further evaluation
EXTERIOR AREAS		
**Page 49 Item: 5	Eaves & Fascia	• Deteriorated in areas - needs to be serviced - consult the termite report
FOUNDATION		
**Page 53 Item: 9	Plumbing	• Evidence of past leakage at plumbing drain - laundry drain pipe is detached under house - ground is extremely damp in this area - needs to be serviced/further evaluation • Galvanized water piping present - recommend complete water distribution system evaluation due to the age of this material

GROUNDS		
Page 59 Item: 11	Sprinklers	• Stations not operating - needs to be serviced • Missing sprinkler heads - needs to be serviced
ROOF		
** Page 62 Item: 1	Condition	• Deteriorated materials present - will require replacement at any time - consult a roofer to estimate remaining lifespan • Ponding or evidence of ponding in areas - needs to be serviced
	Pitched section of roof replaced June 2020	
POOL AND/OR SPA		
Page 69 Item: 14	Decking	• Uneven/lifted/lipage in areas – trip hazards present
Page 70 Item: 15	Gates & fencing - SAFETY	• The pool/spa DOES NOT have a fenced or gated enclosure that separates or isolates the pool or spa area from the home or structure - we advise you to consult with a licensed pool contractor to evaluate all safety needs for this pool or spa.
Page 70 Item: 16	Structure	• Stained more than normal in areas - needs further evaluation • Surface cracking visible from pool edge - signs of finish wear

\*\* these items have either been fixed or seller will fix



**ABOUT YOUR INSPECTION - PLEASE READ ALL OF THE INFORMATION WE PROVIDE BELOW**

In order for you to receive the full value of this inspection, please read all of the information we have provided.

ALL ITEMS IN RED PRINT ARE OF IMMEDIATE CONCERN TO THIS STRUCTURE AND SHOULD BE FURTHER EVALUATED BEFORE THE CLOSE IN ESCROW. HOWEVER, THE ENTIRE REPORT MUST BE READ FOR FULL DISCLOSURE, AS OTHER ITEMS WRITTEN IN THE REPORT MAY REQUIRE FURTHER EVALUATION AS DEEMED BY THE OPINION OF THE READER. IF A FURTHER EVALUATION IS NOT PERFORMED AND ADDITIONAL DEFECTS ARE FOUND AFTER THE CONTINGENCY PERIOD HAS EXPIRED, THEN ANY DISPUTES OR CLAIMS AGAINST THE INSPECTION WILL BE DENIED. SIMPLY PUT, IF YOU DO NOT FOLLOW THE ADVICE IN THIS REPORT, THEN YOU CANNOT HOLD THE INSPECTOR OR THE INSPECTION REPORT LIABLE AFTER YOU MOVE INTO THE INSPECTED STRUCTURE OR PROPERTY.

**This IS a limited Inspection:** It is impossible to inspect every square inch of every area of a home in a limited time frame. A home inspection is designed to reflect, as accurately as possible, the visible condition of the home at the time of the inspection only and does NOT reflect, anticipate or predict future conditions. Conditions at a home for sale can change radically in only a day or two, so a home inspection is not meant to guarantee what condition a home will be in when the transaction closes. It's not uncommon for conditions to change between the time of the inspection and the closing date. During this inspection your inspector did not dismantle equipment, dismantle any structural items, apply stress or destructive testing. Areas that are hidden, painted over, disguised and/or not readily visible are not covered in this report. Our report is not a guarantee or warranty on the condition of your property or its contents. This report provides an unbiased visual inspection only. Elite Group Inspection Professionals inspections are performed with consideration given to the age of the structure. Defects will be indicated and marked as such, even though the condition may be normal for the age, and should be inspected by the appropriate licensed contractor. Opinions vary from person to person and this report is the opinion of the inspector and must be considered as such. The Inspector does not determine the age or remaining life of any system or building material during this inspection. Cosmetic items are considered obvious and are often not included in your report. Your report does not include all items covered in the REAL ESTATE TRANSFER DISCLOSURE FORM. We recommend that you read the Disclaimers page in complete detail to understand the limitations of a Home Inspection.

An attorney and/or real estate broker should be consulted on additional items not included in this report.

ENVIRONMENTAL DISCLAIMER: Mold spores, asbestos, formaldehyde, radon, lead paint, Chinese drywall, poria and all other toxic items of concern cannot be identified as toxic and/or dangerous with this inspection report. Your inspector is not certified to identify any of these toxic or dangerous items and will not include any information on them in this report. It's recommended the client have the property tested by a certified expert in these areas, in all cases.

**Houses/structures built between 1965 and 1974 have the possibility of aluminum wiring present throughout structure. It is recommend that a licensed electrician further evaluate houses built in this era for aluminum wiring. Houses/structures with galvanized or cast iron plumbing present are highly recommended to be further evaluated by a plumbing contractor regardless of the age of the plumbing.\***

**Houses/structures built prior to 1978 can contain asbestos materials. It is recommend that a licensed asbestos contractor/inspector further evaluate houses/structures built in this era for asbestos materials. The Home Inspector will not determine or include in the report if asbestos is present at any structure or in any materials at a structure.\***

**Houses/structures built prior to 1978 can contain lead paint. It is recommend that a licensed lead inspector further evaluate houses/structures built in this era for lead paint materials.\***

**\*Elite Group Inspection Professionals will not engage in any claims regarding aluminum wiring, asbestos or lead paint.**

PHOTO DOCUMENTATION: Your report may include digitally imaged photos of certain problem areas (should they exist). Also included are pictures (General Views) to establish location and identification. It is not a requirement that your Home Inspector photograph every area or defect of the home; additional photos may be taken and included in your report as a courtesy. The Inspector CANNOT use photos provided by anyone else for the inspection report. Any photos included in the report must be taken by the Inspector only, with the Inspector's camera only!



**ABOUT YOUR INSPECTION CONTINUED**

Please carefully read your entire Inspection Report. Call your inspector after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process.

**Properties being inspected do not "Pass" or "Fail."** - The following report is based on an inspection of the visible areas of the structure; inspection may be limited by vegetation, height restrictions, weather and possessions. Depending on the age of the structure, some items like GFCI outlets may not be installed; this report will focus on safety and function, **not current building codes**. This report identifies specific **non-building code**, non-cosmetic concerns that the inspector feels may need further investigation or repair. It is NOT a requirement that a home being sold be brought up to today's building code standards.

We advise you to check all building permits for all areas of the structures present, a home inspection is NOT a building code violation inspection. If the proper building permits have not been obtained and/or do not have final building inspection signatures, then you cannot assume that these areas were installed to applicable building codes. Further investigation beyond the scope of the home inspection may be needed.

**"Needs to be serviced" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed and the item should be further evaluated. Often the items discovered by the Inspector are only clues to a potentially larger issue, further evaluation may uncover other items the inspector did not see or disclose during the inspection.**

**For your safety and liability purposes, we recommend that licensed contractors further evaluate and repair any and all concerns and defects noted in the report.**

Lateral Sewer Line Camera Inspection: Underground drains cannot be viewed by the Inspector and can often have internal issues that do not reveal themselves during the home inspection. We highly advise you to have a sewer camera inspection prior to the release of inspection contingencies.

Every home or structure is different, therefore may be inspected in various formats. Inspections can take anywhere from 1 to 4 hours depending on the size of the structure or the age of the structure being inspected. The condition of the home or structure being inspected may also play a role in the time it takes for the inspection; the more defects there are to document, the longer the inspection will take. Inspection methods are generally the same among all inspectors, however experience and inspector's personal preferences may differ between Inspectors. This is the same for report writing. While Inspectors are provided with common statements to use in their report, they are also given the freedom to narrate or edit comments as they see fit for each inspection. The Inspector cannot predict or find every defect in a structure being inspected. The time frame for an inspection only allows the Inspector to examine areas in a location by location order. If a defect arises in another area of the structure (including the exterior) for which this defect was not present or visible at the time of the inspection, then the Inspector cannot be liable for notifying you of the defect. *For example:* The inspector evaluates the exterior of the home first and finds no defects...but later runs the water at the kitchen sink and the water is not visibly leaking under the kitchen sink, but somehow is leaking through the exterior wall to the exterior, the Inspector will not back-track and re-inspect the exterior and will likely not see this or note the defect.

During the inspection, the water is turned on at all visible and/or accessible fixtures at the structure. In most cases, no water fixtures should be left unattended while turned on. There is no set standard time frame for how long each fixture should be operated. The Inspector will operate the water fixtures as long as is needed to determine if both the hot and/or cold water is operating at the designated fixture. Leaks can only be documented if they are visible at the time of operating the designated fixture. Future leaks cannot be predicted! A home inspector cannot determine if there are plumbing leaks inside walls or ceilings unless visible moisture or explicit signs of moisture are present and visible at the time of the inspection. This inspection does not include confirmation of water conservation devices at any fixture.

**Note that this report is a snapshot in time and not a prediction of future conditions. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide. Conditions can change at any time during escrow time periods. You are 100% responsible for verifying all conditions prior to close of escrow.**

**THIS REPORT IS NON-TRANSFERABLE TO ANOTHER PARTY, NO EXCEPTIONS.**

**THANK YOU FOR USING ELITE GROUP INSPECTION PROFESSIONALS**



## INSPECTION AGREEMENT

BY ACCEPTANCE OF OUR INSPECTION REPORT YOU AGREE TO THE TERMS OF THIS AGREEMENT AND THE TERMS AND CONDITIONS OF THE CONTRACT. YOU FURTHER AGREE THAT YOU UNDERSTAND THE LIMITATIONS OF A HOME INSPECTION AND HAVE READ THE DISCLAIMER PAGE OF THIS REPORT.

### SCOPE OF THE INSPECTION / REPORT

We will perform a non-invasive visual examination designed to identify material defects in the systems, structures, and components of buildings located on the property to be inspected, as they exist at the time of the inspection. Our inspection will be limited to those specific systems, structures and components that are present and visually accessible. We will only operate components and systems with normal user controls and as conditions permit. Unless we agree otherwise, we will only inspect the primary building, and its associated primary parking structure on the property. Out structures are not included in our inspection: this exclusion encompasses exterior BBQs, appliances, fire pits, fire places, play equipment, ponds or fountains, sheds, workshops, lean-to structures, barns, etc.. We will also provide you with a written report that describes and identifies the inspected systems, structures and components and any visible material defects observed at the time of the inspection. We may amend the report within twenty-four (24) hours after completing the inspection.

**RE-INSPECTION:** A re-inspection may be scheduled with our office as needed to re-evaluate specific items that may have been repaired since our original inspection or that may have been obstructed and not visible or accessible during the original inspection. The fee for a re-inspection varies upon how many items are to be re-inspected and/or the length of time required to perform the re-inspection. A re-inspection is completed only for the items specified in writing by the buyer or buyer's Agent at the time of the re-inspection. A re-inspection does not include a complete inspection of the entire home or property, however the Inspector may update the inspection report with additional defects observed at the re-inspection that may not have been visible or accessible during the original inspection. It is recommended that you obtain all the necessary building permits, contractor receipts and any warranties provided by the manufacturer/installer/contractor for the repaired or replaced items. Unless we agree otherwise, we will perform the inspection, and issue the report, in accordance with the mandatory parts of the current Standards of Practice (Residential Standards - Four or Less Units) of the International Association of Certified Home Inspectors ("the InterNACHI Standards") and subject to the Definitions, Scope, Limitations, Exceptions and Exclusions in the InterNACHI Standards. Terms in this Agreement have the same meaning as the defined terms in the InterNACHI Standards. The InterNACHI Standards are available from InterNACHI's website: <http://www.nachi.org/>

IF YOU DISCOVER A DEFECT FOR WHICH YOU THINK WE MAY BE LIABLE TO YOU, YOU MUST NOTIFY US AND GIVE US A REASONABLE OPPORTUNITY TO RE-INSPECT THE PROPERTY BEFORE YOU REPAIR THE DEFECT. FAILURE TO FOLLOW THIS PROCESS WILL RESULT IN VOIDING THIS AGREEMENT AND CONTRACT. YOUR NOTICE MUST BE IN WRITING, INCLUDE A SIGNED COPY OF THIS AGREEMENT, AND BE MAILED TO OUR CORPORATE OFFICE:

Elite Group Inspection Professionals/Attn: Inspector Supervisor 2641 Hamner Ave #201 Norco, Ca 92860

OUR LIABILITY TO YOU FOR CLAIMS ARISING FROM OUR INSPECTION OR OUR REPORT, WHETHER SOUNDING IN TORT OR CONTRACT, WILL NOT BE MORE THAN THE LESSER OF ACTUAL DAMAGES OR THREE (3) TIMES THE INSPECTION FEE.

TEGPIS (The Elite Group Property Inspection Service, Inc.) AND CLIENT AGREE THAT CLIENT CANNOT FILE A LEGAL ACTION AGAINST TEGPIS OR ITS EMPLOYEES, WHETHER SOUNDING IN TORT OR CONTRACT, MORE THAN ONE YEAR AFTER THE CLIENT DISCOVERS, OR WITH THE EXERCISE OF REASONABLE DILIGENCE SHOULD HAVE DISCOVERED THE BREACH OR MATERIAL DEFECT.

Our report is NOT a warranty of the items inspected. However, The Elite Group may offer you additional warranties through a third party service provider. In all cases, you must contact your home warranty company first for any issues that arise after the date of the original home inspection. Failure to do so may result in voiding your home warranty.

Additional questions or concerns can be addressed through our Customer Service website: [eliteinspections.com/customersupport](http://eliteinspections.com/customersupport)

Please read the "About Your Inspection" and "Disclaimers" pages prior to filing any online claims as this will help you to determine if your claim is valid and within the scope of the home inspection.

### CONFLICT OF INTEREST DISCLOSURE AND STATEMENT OF COMMITMENT

Our goal is to provide valuable and unbiased information that helps consumers make informed decisions. A portion of our business may be based on relationships with other professions- real estate sales professionals, lawyers, lenders, vendors, etc., and our reports sometimes conflict with the business interests of these parties. We do not allow these relationships to compromise the integrity of our service. However, they do enable us to deliver more value to our clients. Our reports are intended to accurately reflect our impartial professional opinion, without exception.

YOU MUST PAY THE INSPECTION FEE AND SIGN THE CONTRACT BEFORE WE CAN DELIVER THE REPORT TO YOU.





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## OVERVIEW

### 1. Inspection Package - Directional Marker - Utilities Status - Occupancy - Other Info

Inspection type: Elite Home Inspection (Basic)

Single Family Residence

Front door faces East (approximate)

All Utilities are ON for this inspection

Vacant structure

### 2. Main Utilities Location

- Main water valve shut off location: East side of structure
- Main gas valve shut off location: South side of structure
- Main electrical panel location: South side of structure

### 3. Who is present at the inspection?

- Seller's agent present during inspection

### 4. Wall materials throughout the structure

Drywall

### 5. Ceiling materials throughout the structure

Drywall

### 6. Floor materials throughout the structure

Tile • Wood

### 7. Window materials/type throughout the structure

Single pane • Wood framed • Aluminum framed • Fixed frame or stationary type (does not open or close) • Vertical sliding type (one window slides while the other remains stationary)

### 8. IMPORTANT NOTES

- This inspection is intended to identify major material defects only. Minor and cosmetic issues are excluded from inspection and report, but may be included in some comments as a courtesy. Small nail holes, drywall nail pops, small cracks, chipped areas, dirty areas and cosmetic blemishes are considered cosmetic in most cases.
- Small cracking may be found throughout the structure, this is normal for California construction and generally caused by settling, earthquake, and wind conditions.

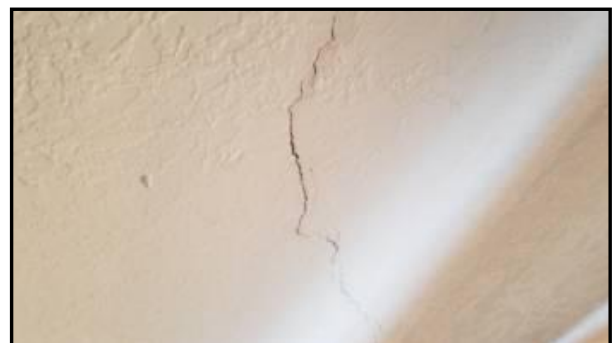


## INTERIOR

See bedrooms, bathrooms, kitchen, and laundry area pages of the report for additional interior information. "Needs to be serviced" is a common phrase used throughout this report and means, in the inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; repair and/or replacement by an appropriate licensed contractor may be required.

### 1. Wall Conditions

Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed - typical for age of structure • Settlement cracking in areas - reference foundation page for further details regarding structural integrity



## 2. Ceiling Conditions

Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed - typical for age of structure • Settlement cracking in areas - reference foundation page for further details regarding structural integrity



## 3. Ceiling Fans

Operated at time of inspection • Normal wear for age, no major visible defects • Note: It is not possible to determine the method of attachment to the ceiling. These units are heavy and due to the designed movement, must have the proper style mounting boxes for correct and safe attachment. Recommend confirming the method of attachment prior to use. This may require the removal of the fan or insulation to visually verify proper support.



## 4. Floor Conditions

Worn and stained areas- typical for age of the material • Scratched/worn areas - typical for age and use • Consult termite report for wood floors • **Wood flooring is swollen/cupping/lifting - evidence of a past moisture problem - needs to be serviced**



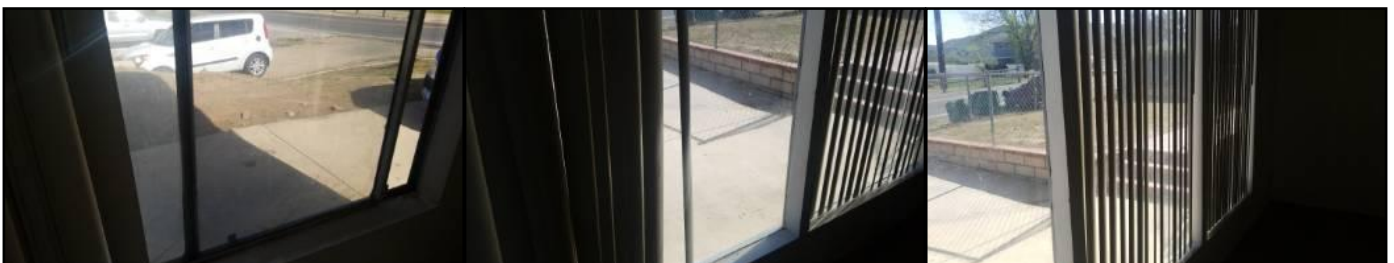
**Worn and stained areas- typical for age of the material**



**Wood flooring is swollen/cupping/lifting - evidence of a past moisture problem - needs to be serviced**

### 5. Window Conditions

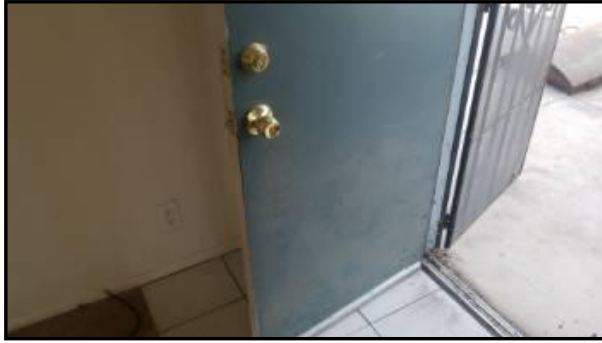
Accessible windows were tested and operated at time of inspection • Visible/accessible windows have worn frames/hardware/sills/tracks - typical for age • **Did not lock/latch properly - needs to be serviced**



**Did not lock/latch properly - needs to be serviced**

### 6. Doors

Operated at time of inspection • Weathered/worn door(s) - typical for age



### 7. Screen Doors

Security screen present • Operated at time of inspection • Normal wear for age with no major visible defects



### 8. Sliding Glass Doors

Slider operated at the time of the inspection • Worn door with loose/worn hardware/frames/rollers/tracks - typical for age • Single pane



### 9. Fireplaces

**Location/s:** Living room  
Mason built

No damper stop clamp - required for cosmetic gas logs, fire-glass or other cosmetic fire system that uses gas at the primary fuel • Small cracks/worn areas present - typical for age • Damper was tested and operated at the time of the inspection • Damper was worn/rusted/dirty - recommend cleaning • Missing/damaged spark screen - needs to be serviced



### 10. Electrical

A representative number of receptacles and switches were tested and found to be operational at time of inspection • Loose/worn outlets/switches - typical for age consider upgrading • Some bulbs defective/missing/light(s) did not function - check bulbs/consult electrician to further evaluate • Ungrounded outlets present - typical for the age of the structure - consider upgrading electrical services





Some bulbs defective/missing/light(s) did not function - check bulbs/consult electrician to further evaluate

Some bulbs defective/missing/light(s) did not function - check bulbs/consult electrician to further evaluate

### 11. Stairs & Handrails

Functional at time of inspection



### 12. Smoke Detectors

Recommend upgrading all smoke detectors to the new 10-year battery life units



**13. Carbon Monoxide Detectors**

Missing at hall - needs to be installed



## BEDROOMS

"Needs to be serviced" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; repair and / or replacement by an appropriate licensed contractor may be required.

### 1. Locations

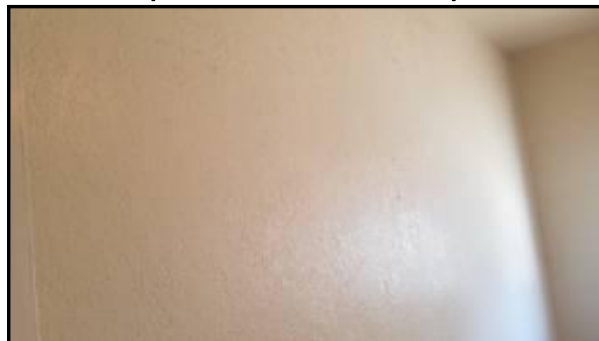
North • South

### 2. Wall Conditions

Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed - typical for age of structure • Patched/partial painted areas present - needs touch up • Small cracking may be found throughout the structure, this is normal for California construction and generally caused by settling, earthquake, and wind conditions.



Patched/partial painted areas present - needs touch up



### 3. Ceiling Conditions

Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed - typical for age of structure





**4. Ceiling Fans**

Operated at time of inspection • Worn/older unit(s) - typical wear for age • Note: It is not possible to determine the method of attachment to the ceiling. These units are heavy and due to the designed movement, must have the proper style mounting boxes for correct and safe attachment. Recommend confirming the method of attachment prior to use. This may require the removal of the fan or insulation to visually verify proper support.



**5. Floor Conditions**

Worn and stained areas- typical for age of the material • Scratched/worn areas - typical for age and use • Consult termite report for wood floors



**6. Window Conditions**

Visible/accessible windows have worn frames/hardware/sills/tracks - typical for age • **Broken sash cables or springs- unsafe - needs to be serviced** • **Stuck in position - needs to be serviced**



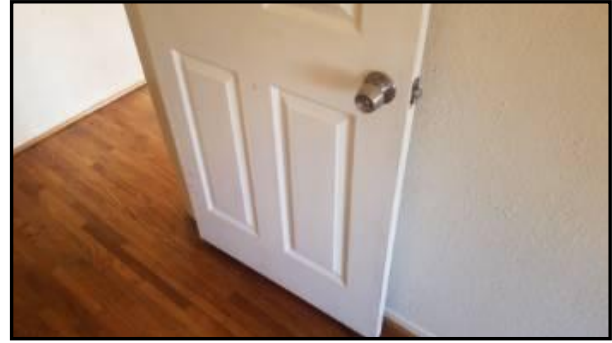
**Stuck in position - needs to be serviced**

**Stuck in position - needs to be serviced**

**Broken sash cables or springs- unsafe - needs to be serviced**

**7. Doors**

Operated at time of inspection • Weathered/worn door(s) - typical for age



### 8. Fireplaces

**Location/s:** No fireplace present

### 9. Electrical

A representative number of receptacles and switches were tested and found to be operational at time of inspection • Loose/worn outlets/switches - typical for age consider upgrading • Ungrounded outlets present - typical for the age of the structure - consider upgrading electrical services



### 10. Closets

Worn closets with loose/worn hardware - typical for age • Bypass door guides missing at base - needs to be serviced



**Bypass door guides missing at base  
- needs to be serviced**

**11. Smoke Detectors**

Missing - needs to be installed

## BATHROOMS

"Needs to be serviced" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; repair and / or replacement by an appropriate licensed contractor may be required.

### 1. Locations

Hall

### 2. Wall Conditions

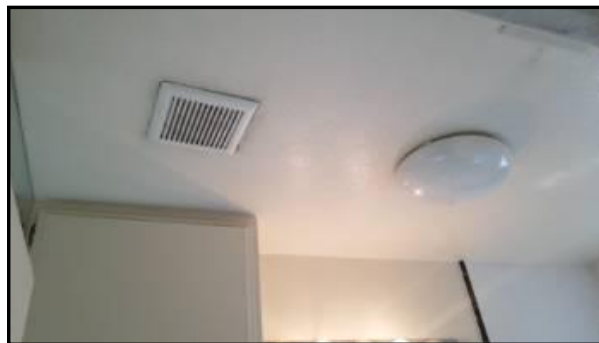
Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed - typical for age of structure • Damaged in areas - needs to be serviced



Damaged in areas - needs to be serviced

### 3. Ceiling Conditions

Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed - typical for age of structure • Small cracking may be found throughout the structure, this is normal for California construction and generally caused by settling, earthquake, and wind conditions.



### 4. Floor Conditions

Scratched/worn areas - typical for age and use



### 5. Window Conditions

Accessible windows were tested and operated at time of inspection • Visible/accessible windows have worn frames/hardware/sills/tracks - typical for age



### 6. Doors

Operated at time of inspection • Weathered/worn door(s) - typical for age



### 7. Counters

Counter is worn and has typical wear for age



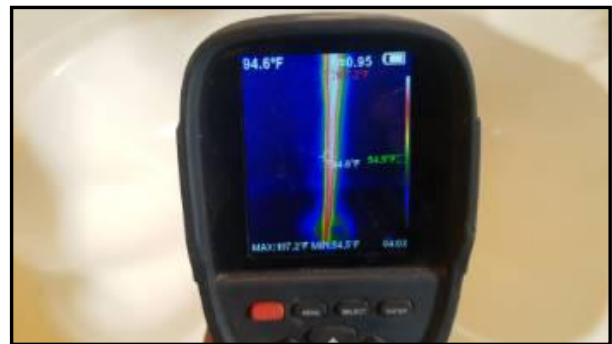
### 8. Cabinets

Worn cabinets with loose/worn hardware - typical for age



### 9. Sinks

Fixture operated at the time of the inspection • Worn fixture/sink - typical for the age • Missing proper "stops" at valves - needs to be serviced



### 10. Mirrors

Mirror functional at time of inspection • Normal wear for age of material with no major visible defects

### 11. Bath Tubs

Fixture was tested and operating at the time of the inspection • Fixture was in a worn/older condition at the time of the inspection - typical for age • Tub fixture leaks when operated - needs to be serviced • Bathtubs are not filled to overflow opening to test



Tub fixture leaks when operated - needs to be serviced

### 12. Showers

Fixture was tested and operating at time of inspection via normal fixture controls • Fixture was in a worn and older condition - typical for the age



**13. Shower Walls**

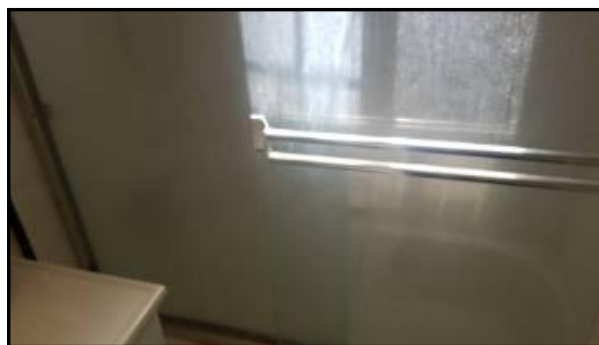
Tile and grout present • Wall materials in a worn/stained-faded/old condition - typical for age - recommend routine grout and sealer maintenance • Worn tile/grout - typical for age - recommend routine grout and sealer maintenance



**Worn tile/grout - typical for age - recommend routine grout and sealer maintenance**

**14. Enclosures / Shower doors**

Operational at time of inspection - Tempered glass label observed • Enclosure door(s) in a worn/older condition with loose/worn hardware - typical for the age



**15. Toilets**

Tested and operational at time of inspection via normal fixture controls, flush test performed • Toilet is in a worn and older condition at the time of the inspection - typical for age



**16. Bidets**

None

**17. Plumbing**

Operational at time of inspection via normal fixture controls with no major visible defects • Angle stops/hoses/drain pipes are worn/older - recommend upgrading these areas with new fixtures • **Visible leaking under sink - needs to be serviced**



**Visible leaking under sink - needs to be serviced**



**Visible leaking under sink - needs to be serviced**

**18. Electrical**

A representative number of receptacles and switches were tested and found to be operational at time of inspection • Loose/worn outlets/switches - typical for age consider upgrading • Some bulbs defective/missing/light(s) did not function - check bulbs/consult electrician to further evaluate



**Some bulbs defective/missing/light(s) did not function - check bulbs/consult electrician to further evaluate**

**19. GFCIs**

Tested and operational at time of inspection via normal control





## 20. Exhaust Fans

Operated at time of inspection • Worn/older fan - typical wear for age



## KITCHEN

"Needs to be serviced" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; repair and / or replacement by an appropriate licensed contractor may be required.

### 1. Wall Conditions

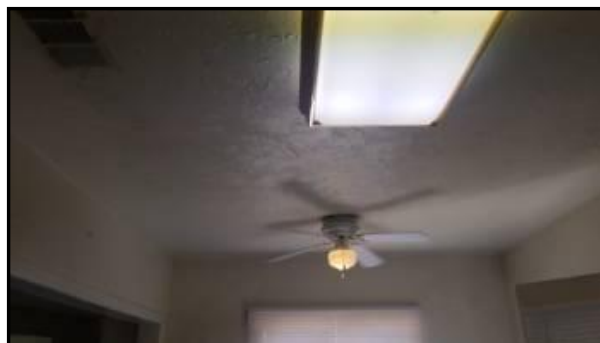
Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed - typical for age of structure • Small cracking may be found throughout the structure, this is normal for California construction and generally caused by settling, earthquake, and wind conditions. • Large crack - recommend servicing



Large crack - recommend servicing

### 2. Ceiling Conditions

Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed - typical for age of structure • Small cracking may be found throughout the structure, this is normal for California construction and generally caused by settling, earthquake, and wind conditions.



### 3. Ceiling Fans

Operated at time of inspection • Normal wear for age, no major visible defects • Note: It is not possible to determine the method of attachment to the ceiling. These units are heavy and due to the designed movement, must have the proper style mounting boxes for correct and safe attachment. Recommend confirming the method of attachment prior to use. This may require the removal of the fan or insulation to visually verify proper support.



#### 4. Floor Conditions

Scratched/worn areas - typical for age and use • Cracked areas - needs to be serviced



Cracked areas - needs to be serviced



#### 5. Window Conditions

Visible/accessible windows have worn frames/hardware/sills/tracks - typical for age • **Stuck in position - needs to be serviced**



#### 6. Doors

Loose/worn hardware needs minor service - typical for age



### 7. Counters

Counter is worn and has typical wear for age • Gaps at countertop joints - needs to be serviced



Gaps at countertop joints - needs to be serviced

### 8. Cabinets

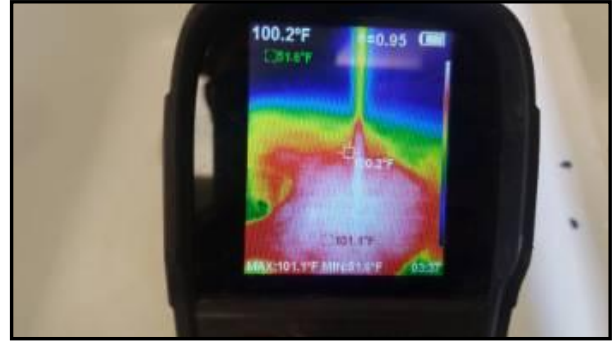
Worn cabinets with loose/worn hardware - typical for age • Stained/blistered area(s) - moisture present at time of inspection - needs to be serviced/further evaluated



Stained/blistered area(s) - moisture present at time of inspection - needs to be serviced/further evaluated

### 9. Sinks

Fixture operated at the time of the inspection • Worn fixture/sink - typical for the age • Fixture leaks when operating - needs to be serviced - see plumbing



### 10. Dishwashers

Tested and operational (one fill and drain cycle only, not full cycle) at time of inspection via normal controls  
• Worn/older unit - typical wear for age and use • Drained properly during inspection • **Leaking from the front door - needs to be serviced**



**Leaking from the front door - needs to be serviced**

### 11. Garbage Disposals

Tested and operational at time of inspection via normal controls • Worn/older unit - typical wear for age and use • No visible leaks at the time of the inspection



### 12. Plumbing

Operational at time of inspection via normal fixture controls with no major visible defects • Angle stops/hoses/drain pipes are worn/older - recommend upgrading these areas with new fixtures • Corrosion is present at plumbing areas - this is a sign of slow leaking and should be further evaluated by a plumber • The plumbing supply valves are visually inspected only and are not tested for functionality due to the potential for leakage - valves that are not used often will seize or freeze and are likely to leak when operated (opened/closed). • **Visible leaking under sink - needs to be serviced**



**Corrosion is present at plumbing areas - this is a sign of slow leaking and should be serviced**



**Visible leaking under sink - needs to be serviced**

### 13. Ranges

Not tested due to age/condition - further evaluation needed beyond the home inspection



### 14. Ovens

Not tested due to age/condition - further evaluation needed beyond the home inspection



**15. Microwaves**

Not operating properly - needs to be serviced



**Not operating properly - needs to be serviced**

**16. Trash Compactors**

None installed

**17. Exhaust Vents**

Exterior vented

Tested and operational at time of inspection via normal controls • Worn/older unit - typical wear for age and use • Improper vent materials used (ribbed flexible) must be smooth metal pipe - needs to be serviced



**Improper vent materials used (ribbed flexible) must be smooth metal pipe - needs to be serviced**

**18. Electrical**

A representative number of receptacles and switches were tested and found to be operational at time of inspection • Outlets/switches had normal wear for age - no major visible defects • Ungrounded outlets present - typical for the age of the structure - consider upgrading electrical services



**19. GFCIs**

Test did not operate - needs to be serviced



**Test did not operate - needs to be serviced**



## LAUNDRY AREA

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### 1. Laundry Area Location

Outside

### 2. Wall Conditions

See exterior areas



### 3. Dryer Vent

Normal wear on day of the inspection - no major visible defects



### 4. Plumbing

Visible fixtures were worn/old - typical wear for age • Angle stops/valves/hoses are worn/older - recommend upgrading these areas with new fixtures • No visible leaks at time of inspection • **Drain trap is clogged - needs to be serviced**



Drain trap is clogged - needs to be serviced

### 5. Gas Valve

Worn valve - recommend upgrading to newer style valve



### 6. Electrical

Representative number of receptacles and switches tested and operational at time of inspection •  
Loose/worn outlets/switches - typical for age consider upgrading • Has 240v service - tested and operated •  
Missing exterior cover



Has 240v service - tested and operated



Missing exterior cover

### 7. GFCIs

Tested and operational at time of inspection via normal control



## HEATING/AIR CONDITIONING

"Needs to be serviced" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; repair and / or replacement by an appropriate licensed contractor may be required.

### 1. Heaters

**Location:** Roof

**Type:** Gas fired forced hot air • Split system

Operated at time of inspection • Visible areas of unit are worn and older - we recommend seasonal service and maintenance to extend the life of the unit • Inspector does not examine heat exchanger or determine the presence of a cracked heat exchanger - this is not a complete evaluation of the internal areas of the heater - consult an HVAC contractor for further evaluation if you have concerns about the heat exchanger.



### 2. Venting

The visible areas of the vent have normal wear at the inspection - no major visible defects



### 3. Air Supply

Visible areas have normal at time of inspection - no major visible defects

### 4. Gas Supply Valves and Pipes

Normal wear at time of inspection - no major visible defects • No sediment trap at gas supply - may have not been required at time of original installation, but is recommended



### 5. Electrical

Operating properly at the time of the inspection - no major visible defects



### 6. Thermostats

Digital type present - functional day of the inspection

### 7. Filters

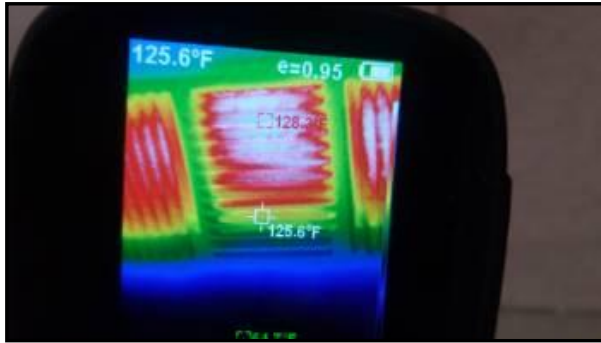
Located in a filter grill in hall ceiling

We recommend that the filters be changed or cleaned every 3 to 6 months depending on the usage of the heating and air conditioning systems • Filter is worn/dirty and will likely need changing soon

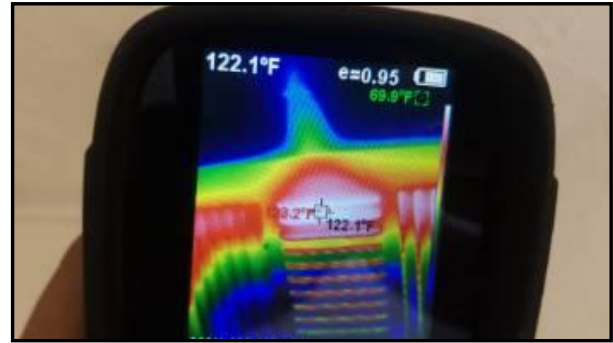


### 8. Registers

Representative number tested and functional day of the inspection • All visible register covers have normal wear at the time of the inspection - no major visible defects



Heater Temperature



Heater Temperature

### 9. Combustion Air

Combustion air appears to be adequate at the time of the inspection

### 10. Platforms/Bases

Visible areas have normal wear at time of inspection - no major visible defects - recommend seasonal servicing and maintenance to ensure sealing holes and gaps in the heater base



### 11. Air Conditioning Compressors

Location: NO CENTRAL A/C PRESENT

## WATER HEATERS

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### 1. Water Heaters Condition

**Number of gallons:** 30 gallons

**Location/s:** Exterior closet

Operated at the time of the inspection - Gas unit • The unit is worn/older - consult a plumber for general maintenance recommendations to extend the life of the unit • The water heater is visually inspected only, the combustion/pilot doors are not removed for flame or burner condition inspection due to the potential for draft to burn out the pilot flame. The Inspector does not estimate the age and cannot predict the remaining life of the unit.



### 2. Venting

Vent is worn and older - consider upgrading vent



### 3. Plumbing

**Material type:** Galvanized - recommend complete water distribution system evaluation due to age •

Copper flex lines

Missing valve - needs to be serviced • **Corrosion present - signs of wear - monitor for moisture**



Corrosion present - signs of wear - monitor for moisture

Corrosion present - signs of wear - monitor for moisture

Missing valve - needs to be serviced



#### 4. Electrical

N/A

#### 5. Temperature Pressure Release Valves

Normal wear on the day of the inspection - no major visible defects • The inspector visually inspects the TPRV only - this valve is not opened or tested during the inspection



#### 6. Overflow Line/s

**Material type:** Plastic (unless CPVC labeled or otherwise labeled for heat and pressure use, plastic is not an approved material for overflow line)

Normal wear on the day of the inspection - no major visible defects



### 7. Water Heater Temperature

115 F (Average or approximate)



### 8. Strapping

Standard metal type straps present - normal wear on the day of the inspection - no major visible defects • Poorly located (should be upper and lower 1/3 of tank) - needs to be serviced



### 9. Gas Supply Valves and Pipes

Worn valve, consider upgrading to newer style valve





**10. Combustion Air**

Combustion air appears to be adequate at the time of the inspection

**11. Platforms/Bases**

Worn/dirty – recommend cleaning



**12. Enclosures**

Worn/dirty areas - recommend cleaning



### ELECTRICAL/GAS SERVICE

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#### 1. Main Panel

**Location/s:** South side of the structure

Worn/older panel - consider upgrading services • Outer door missing/loose/damaged - needs to be serviced

• Minor rusting - typical for age - recommend rust treatment and weather tight service • Panel capacity appears low for size of building and electrical needs - needs to be further evaluated by a licensed electrician



Thermal Image View - slight differential detected - monitor for further signs of overheating

#### 2. Sub Panels

**Location:** No sub panel present

#### 3. Panel Wiring

Wiring type: copper and multi-strand aluminum at 240-Volt circuits • Wiring method: non-metallic sheathed cable (romex) • Visible wiring has normal wear for age with no major visible defects at the time of the inspection • Some wire types cannot be determined due to wire casings cover wires entering the breakers. • Inspector does not perform a load calculation to determine service capacity adequacy



#### 4. Breakers

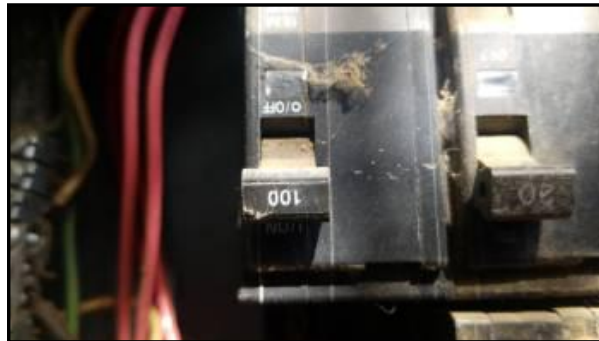
Loose/worn breakers - typical for age • Evidence of alterations to the panel - different types/brands of breakers are present - check permits to ensure proper installation to building/electrical codes • Breakers are visually inspected only - the inspector does not perform any electrical stress tests on the system to determine if a breaker trips properly (consult an electrician for further evaluation, if this is a concern) • Improper breaker tie • Panel is partially labeled - the inspector does not check for accuracy of labels, it is recommended to label all breakers



Improper breaker tie

#### 5. Breaker Amp Capacity

100 amp - while common for many structures, this may be considered low capacity for today's electrical uses - consider upgrading services



#### 6. Cable Feeds

Overhead - normal wear for the age on day of the inspection - no major visible defects



## 7. Main Gas Valve

**Location:** South side of the structure

Natural gas present

- Worn valve - typical for age • Recommend gas valve wrench be placed near valve for optimal preparedness • Main and other fuel gas supply valves are not tested or turned on/off during this inspection
- We recommend the gas supplier be contacted to safety check all fuel gas systems/appliances during the contingency period or at least prior to purchase and occupancy. The Inspector cannot determine if a gas leak is present in any area of the home at any time during the inspection.



## 8. Gas Pipes and Valves

Worn meter/piping - typical for age and exterior weathering • Minor rusting - typical for age - recommend rust treatment • We recommend the gas supplier be contacted to safety check all fuel gas systems/appliances during the contingency period or at least prior to purchase and occupancy. Note: The Inspector cannot determine if a gas leak is present in any area of the home at any time during the inspection. Note: The inspector cannot determine if all gas lines are properly protected in the ground.



### ATTIC AREA

"Needs to be serviced" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; repair and / or replacement by an appropriate licensed contractor may be required.

#### 1. Access Entries

Inspection method: Partially traversed: some areas not accessible or visible due to access limitations • Location of access: Hall ceiling • Normal wear at access door - no major visible defects

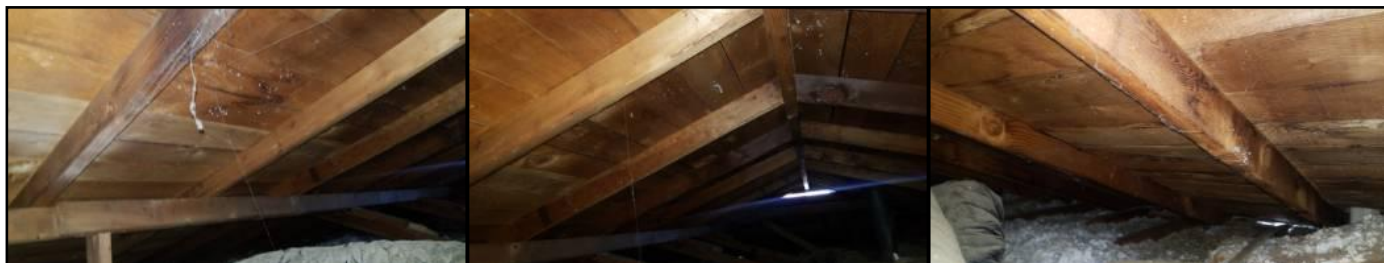


#### 2. Structure

Conventional framing present, normal wear at time of inspection - no major visible defects • Consult termite report for all wood areas in the attic • No major visible staining found at the time of the inspection • Limited attic inspection - many areas are not accessible to to limited space, lack of proper walk boards, electrical, plumbing, ductwork, etc. • Evidence of rodents/pests - recommend pest services inspection for further evaluation



Evidence of rodents/pests - recommend pest services inspection for further evaluation





**3. Insulation**

**Material type:** Unfinished fiberglass batts • Loose fill

**Approximate depth:** 8-10 inches

Evidence of rodent/bird/pest activity in the attic - recommend further evaluation by pest services company  
 • All visible insulation is worn/older/dirty - typical for the age of the structure • Debris throughout attic lying on insulation - recommend cleaning the attic and insulation of all debris • The inspector does not determine R-value of the insulation • Insulation generally blocks visible inspection access to framing below level of insulation



**4. Ventilation**

Existing ventilation appeared to be adequate on the day of the inspection

**5. Vent Screens**

Visible ventilation screens appeared to be functional at time of inspection

**6. Exhaust Vents**

Some vents are not visible or accessible and cannot be inspected - N/A • Visible vents are older and worn - typical for the age of the structure - consider upgrading • Masonry/cement/transite type vent pipe in the attic - needs to be serviced and possibly upgraded to newer style vents



**Masonry/cement/transite type vent pipe in the attic - needs to be serviced and possibly upgraded to newer style vents**

**7. Duct Work**

All visible/accessible duct areas have normal wear for age at the time of the inspection - no major visible defects • Outer wrap damaged - needs to be serviced • The inspector cannot determine efficiency or effectiveness of the duct layout - check all installation permits • Some areas not visible due to access hindrances or limitations



**Outer wrap damaged - needs to be serviced**



Outer wrap damaged - needs to be serviced



### 8. Electrical

Visible wiring in attic is in a worn and older condition typical for the age the of structure

### 9. Plumbing

No visible plumbing vents or piping in the attic space - not inspected

### 10. Chimneys

Chimney is not fully visible/not accessible for inspection



## EXTERIOR AREAS

"Needs to be serviced" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; repair and / or replacement by an appropriate licensed contractor may be required.

### 1. Stucco

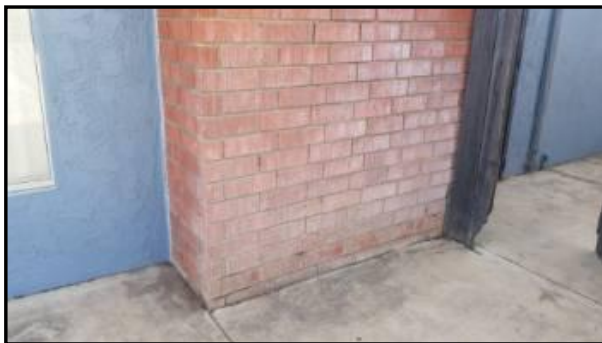
Worn/weathered at time of inspection where visible

- Stucco requires periodic seasonal maintenance, consult an exterior finish contractor for maintenance tips/schedules/suggestions
- Inspector does not use specialized instruments to detect moisture, if any, under stucco surface



### 2. Lower Half of Chimney

Normal wear at time of inspection where visible - no major visible defects



### 3. Wood Trim

Weathering, cracking and staining present - typical for age and weather exposure - recommend maintenance

### 4. Weep Screeds

No weep screeds present - typical for age

**5. Eaves & Fascia**

Exposed exterior wood requires periodic seasonal maintenance and paint - recommend servicing • Consult termite report for all wood areas at the structure

- **Deteriorated in areas - needs to be serviced - consult the termite report**



**Deteriorated in areas - needs to be serviced - consult the termite report**



**Deteriorated in areas - needs to be serviced - consult the termite report**



**Deteriorated in areas - needs to be serviced - consult the termite report**

**6. Exterior Paint**

Weathered and worn areas - typical for age and weather exposure

**7. Exterior Doors**

See interior section for more information

**8. Exterior Windows**

See interior section for additional information - some exterior window areas may not be visible due to height/limited access/vegetation/etc.

## FOUNDATION

"Needs to be serviced" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; repair and / or replacement by an appropriate licensed contractor may be required.

### 1. Access Panels

Inspection method: partially traversed due to height limitations/ductwork/plumbing blocking complete access or view to some areas - limited inspection • Access entry has normal wear at the time of the inspection with no major visible defects

### 2. Foundation Walls

Constructed of: concrete • Visible foundation wall areas have normal wear for the age of the structure on the day of the inspection with no major visible defects • Normal settlement present - no major visible cracks or deterioration found at the time of the inspection





### 3. Sub Flooring

Wood is worn and stained in areas where visible - typical of a structure this age • Stained areas present – consult termite report for any wood/moisture issues





**4. Posts and Girders**

Normal wear for the age of the structure at the time of the inspection with no major visible defects



**5. Sill Plate**

Normal wear for age where visible with no major visible defect found at the time of the inspection



**6. Anchor Bolts**

Anchor bolts present and have normal wear for age with no major visible defects



**7. Ventilation**

Existing ventilation appeared to be adequate on the day of the inspection

**8. Vent Screens**

Minor tears or holes - recommend maintenance and repairs to prevent pest intrusion

**9. Plumbing**

The inspector ran water during the inspection prior to inspecting under the structure • Visible/accessible plumbing areas have normal wear at the time of inspection with no major visible defects • Visibly leaking plumbing - recommend immediate evaluation by a licensed plumber to prevent unwanted moisture in crawl space • **Evidence of past leakage at plumbing drain - laundry drain pipe is detached under house - ground is extremely damp in this area - needs to be serviced/further evaluation** • Galvanized water piping present - recommend complete water distribution system evaluation due to the age of this material



**Evidence of past leakage at plumbing drain - laundry drain pipe is detached under house - ground is extremely damp in this area - needs to be serviced/further evaluation**



**Galvanized water piping present - recommend complete water distribution system evaluation due to the age of this material**

**Galvanized water piping present - recommend complete water distribution system evaluation due to the age of this material**



ground is extremity damp in areas

**10. Exhaust Vents**

Could not access any vents for inspection - N/A

**11. Duct Work**

None present

**12. Basement**

None present

## GROUNDS

"Needs to be serviced" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; repair and / or replacement by an appropriate licensed contractor may be required.

### 1. Driveways and Walkways

**Constructed of:** Concrete • Masonry pavers

Worn with common cracks/chips - typical for age of material • Walkway displacement/uplifted/uneven areas - potential trip hazard - needs to be serviced



Walkway displacement/uplifted/uneven areas - potential trip hazard - needs to be serviced



### 2. Patio and Porch Roofs

**Constructed of:** Shade type wood • Asphalt shingles

See main roof page for porch/patio areas • Consult termite report for all exterior wood conditions • Wood deterioration observed - consult termite report







**Wood deterioration observed -  
consult termite report**

### 3. Patio and Porch Decks

Worn with common cracks/chips - typical for age of material



### 4. Stairs & Handrails

- Cracks present at stairs/steps areas • Missing steps - unsafe - needs to be serviced
- Missing handrails - required when 4 or more stairs/steps are present - needs to be serviced





Missing steps - unsafe - needs to be serviced

### 5. Exterior Electrical

Accessible lights/switches/outlets were tested on the day of the inspection

- The visible and tested fixtures/switches/outlets were in a loose/worn condition - typical for age
- The Inspector does not perform any stress or destructive testing of the electrical system; Yard area electrical that is not readily visible and accessible may not be seen or inspected; Low voltage lighting/electrical systems, motion detectors, intercom, video/audio/security systems are not inspected. Generally, it is typical for older homes not to have exterior outlets or switches.



## 6. GFCIs

Tested and operational at time of inspection via normal control



## 7. Exterior Plumbing and Faucets

Accessible exterior faucets operated/worn at time of inspection via normal fixture controls



## 8. Main Water Valve

Location: east side

• No visible leaking found at the main valve area at the time of the inspection • Gate valve present/worn (these types of valves are known to fail internally) - consider upgrading to a ball valve • This inspection cannot determine certain plumbing defects such as pinhole leaks due to concealment in walls ceilings, floors, concrete slabs, etc. This inspection also does not determine or identify geographic areas that are prone to this issue. Consult seller's disclosures and qualified professionals/contractors if concerns exist in this area.



## 9. Water Pressure

Approximate pounds per square inch: 70



### 10. Pressure Regulator

None installed - a pressure regulator is recommended to allow for water pressure adjustments as needed

### 11. Sprinklers

Yard irrigation tested and operational at time of inspection via normal fixture controls - manually tested at each valve • Low water flow at sprinkler heads - needs to be serviced • Stations not operating - needs to be serviced • Missing sprinkler heads - needs to be serviced



Missing sprinkler heads - needs to be serviced

Low water flow at sprinkler heads - needs to be serviced



Low water flow at sprinkler heads - needs to be serviced



Stations not operating - needs to be serviced

### 12. Fencing and Walls

**Constructed of:** Wood • Chain link • Vinyl

Visible fencing/wall areas are worn and weathered - typical for the age of the materials • Vegetation or trees are affecting the fencing/walls in areas - needs to be serviced • Damaged fencing/walls - needs to be serviced



Damaged fencing/walls - needs to be serviced

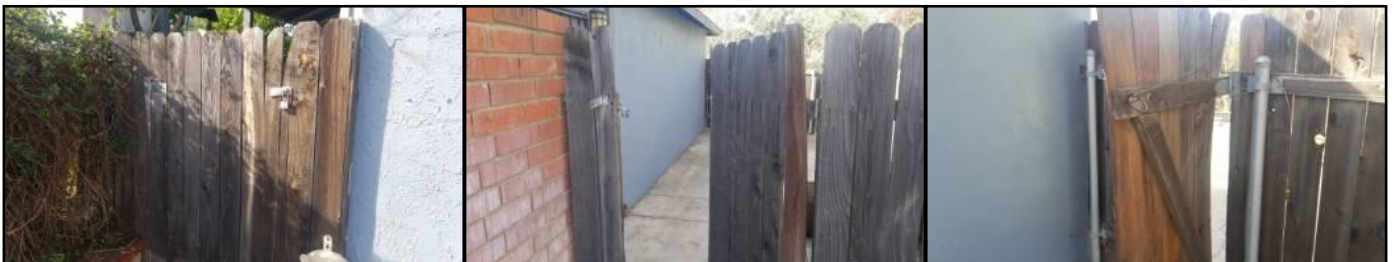


Vegetation or trees are affecting the fencing/walls in areas - needs to be serviced

### 13. Gates

Constructed of: Wood

Operated on the day of the inspection • Weathered and worn materials - typical for age





#### 14. Grading

No drains visible at the property at the time of the inspection, drains are recommended to divert water away from structure



# ROOF

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## 1. Condition

Inspection method - roof was walked

**Constructed of:** Asphalt shingles

Materials appear to be nearing end of useful life - needs to be further evaluated by a licensed roofer • Exposed nails on roofing material - recommend sealing all fastener heads • Missing/damaged shingles/tiles in areas - needs to be serviced • Multiple problems and/or defects were observed during this inspection - needs to be serviced. Recommend a full evaluation of roofing materials and structure by a licensed roofing contractor. • Moss growth present in areas - sign of moisture accumulation and lack of sunlight for drying - recommend servicing as part of seasonal maintenance • Satellite dish fastened direct to roof - screws will need periodic caulk maintenance • **Deteriorated materials present - will require replacement at any time - consult a roofer to estimate remaining lifespan** • **Ponding or evidence of ponding in areas - needs to be serviced**



**Deteriorated materials present - will require replacement at any time - consult a roofer to estimate remaining lifespan**



**Missing/damaged shingles/tiles in areas - needs to be serviced**



**Ponding or evidence of ponding in areas - needs to be serviced**



**Missing/damaged shingles/tiles in areas - needs to be serviced**



**Missing/damaged shingles/tiles in areas - needs to be serviced**



**Missing/damaged shingles/tiles in areas - needs to be serviced**



**Sign of moisture accumulation and lack of sunlight for drying - recommend servicing as part of seasonal maintenance**



**Satellite dish fastened direct to roof - screws will need periodic caulk maintenance**



**Deteriorated materials present - will require replacement at any time - consult a roofer to estimate remaining lifespan**



**Exposed nails on roofing material - recommend sealing all fastener heads**



**Exposed nails on roofing material - recommend sealing all fastener heads**



## 2. Flashings

Worn/weathered/rusted/bent - typical for age - recommend seasonal mastic maintenance to prevent moisture intrusion • Mastic at flashings is weathered and cracked - needs to be serviced and resealed at all penetration points • Re-roof covers flashings - irregular installation - needs further evaluation by a licensed roofer • No saddle at high side of chimney - needs to be serviced



No saddle at high side of chimney - needs to be serviced

## 3. Gutters and Down Spouts

None present- recommend gutters on all feasible sides of the structure/roof areas to help to divert water away from the structure

## 4. Vents and Vent Caps

Worn/weathered cap(s) – recommend seasonal maintenance to ensure that caps do not become loose or develop other defects • Loose vent cap(s) - needs to be serviced



## 5. Chimneys

Worn/weathered chimney – recommend seasonal maintenance and care  
 • Chimney cap is cracked in areas - recommend repairs and sealing all areas to prevent moisture entry



**6. Spark Arrestors**

Normal wear at time of inspection - no major visible defects



**7. Sky Lights**

None present

**8. Solar Light Globes**

None

### POOL AND/OR SPA

"Needs to be serviced" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; repair and / or replacement by an appropriate licensed contractor may be required.

#### 1. Plumbing

Worn/older piping - recommend clearing soil away from piping to prevent deterioration • No visible leaking found at the time of the inspection • This is a limited inspection of the pool/spa and associated equipment. Underground piping is excluded from this inspection, the inspector cannot determine if a pool structure or plumbing leaks underground. If there is any concern of a pool leak, consult a pool contractor to perform a leak dye test. The inspector cannot determine the remaining life of any of the pool equipment. • Ultraviolet light and/or salt chlorine generator type water treatment systems not included in this inspection • Plumbing pipes in contact with soil - needs to be serviced



#### 2. Pumps

Operated on the day of the inspection • Inspector cannot determine the remaining life left in the pool pump(s) • Debris visible inside pump filter chamber - needs to be serviced • Missing bonding wire



Missing bonding wire

Debris visible inside pump filter chamber - needs to be serviced

#### 3. Jets

Operated on the day of the inspection



#### 4. Pressure Gauges

Operated on the day of the inspection • Normal wear for age at the time of the inspection - no major visible defects



#### 5. Pool Fill Valves

Not functional - needs to be serviced



#### 6. Electrical

No bonding wire(s) visible at pumps/equipment – needs to be serviced • No visible outlets or **GFCI** - not inspected



**No visible outlets or GFCI - not inspected**

#### 7. GFCIs

None installed recommend upgrade for increased safety

#### 8. Lights

Could not locate switch – lights not tested

#### 9. Timers

Tested and functional at time of inspection • Timer in contact with soil - needs to be serviced



**10. Filters**

Appears operative on the day of the inspection • Filter is worn/weathered - recommend service/maintenance seasonally



**11. Skimmers and Baskets**

Filled with debris - not fully visible for inspection - recommend cleaning/maintenance



**12. Tile**

Worn tile/grout present - typical for age - recommend maintenance



**13. Coping**

Sealant between coping and decking deteriorated - needs to be serviced • Separating from decking - Needs to be serviced



Separating from decking - Needs to be serviced

**14. Decking**

Cracking more than typical - needs to be serviced • Moved away from pool • Uneven/lifted/lipage in areas – trip hazards present



Uneven/lifted/lipage in areas – trip hazards present



Uneven/lifted/lipage in areas – trip hazards present

**15. Gates & fencing - SAFETY**

The structure or property you are purchasing has a pool or spa - Although the Inspector will look for safety issues, it is beyond the scope of our inspection to locate and test ALL safety measures - IT IS your responsibility to read about ALL safety needs - See publication for pool safety requirements at <http://www.poolsafely.gov> and <http://www.cpsc.gov/PageFiles/122222/pool.pdf> We highly advise you to take all safety precautions very seriously to ensure the safety of you and others who may access your pool or spa area. • The pool/spa DOES NOT have a fenced or gated enclosure that separates or isolates the pool or spa area from the home or structure - we advise you to consult with a licensed pool contractor to evaluate all safety needs for this pool or spa.



**16. Structure**

**Type:** Below ground

**Constructed of:** Gunite • Plaster

Recommend licensed pool contractor for evaluation due to age/conditions/inspection limitations • Filled with debris at the time of inspection • **Stained more than normal in areas - needs further evaluation** • **Surface cracking visible from pool edge - signs of finish wear**



**17. Water Condition**

Dirty pool, debris present in areas - needs to be serviced/cleaned



## Glossary

Term	Definition
A/C	Abbreviation for air conditioner and air conditioning
Combustion Air	The ductwork installed to bring fresh outside air to the furnace and/or hot water heater. Normally, two separate supplies of air are brought in: one high and one low.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
N/A	Not accessible, not inspected



## DISCLAIMERS

**Asbestos:** The inspector is not licensed by the EPA and cannot determine, report on or test if asbestos materials exist in any area throughout the structure. Any structure built prior to 1978 may contain asbestos in one or multiple building materials used during that era of construction. If you have concerns about possible asbestos, it is solely up to you to arrange for asbestos testing by an appropriate licensed contractor. The Elite Group Property Inspections will not engage in any claims regarding asbestos.

**Interior:** Limited inspection on all occupied/staged structures. Personal property, furniture, moving boxes or other items are not moved and will prevent a complete inspection (this applies to all areas inside and outside of the structure being inspected). We recommend checking for permits on all additional construction or alterations including, but not limited to: window replacements, patio roofs, out structures, garage and attic conversions, roof alterations, etc. performed on the property after original construction. If multiple people are present at or arrive during this inspection and enter areas or operate appliances or fixtures after they have already been inspected or reported on by the home inspector; the home inspector is not responsible for the condition of these items or areas after they are inspected; the home inspector does not go back and re-inspect the items/areas during this limited time inspection. The Inspector cannot determine if past or present hidden pet damage exists in any part of the structure. The inspector is not a code violation inspector and will not report on building code requirements in any way. Built-in central vacuum systems are not inspected. Interior window shutters/blinds/coverings are not tested or inspected as part of this home inspection (this includes all windows at the structure). Tint/film over windows is not inspected and often is bubbled/loose/peeling/scratched - tint/film (if present) can prevent an accurate inspection of the window glass areas. Only accessible windows and doors are inspected, personal items are not moved to access or test all doors and windows. Broken double pane seals cannot be determined with this inspection, dirty windows can hide signs of condensation between panes. Vertical operating windows are known to have sash cable/spring problems, although the problem may not exist at the time of the inspection, we recommend that you check them often and repair these windows upon discovery of any sash cable or spring problems. Only the visible and accessible switches/outlets are testing during this inspection, personal items are not moved to access any outlets/switches behind them. Fireplace is visually inspected only, the fireplace is not lit to test flame color or condition. The internal cavity of the fireplace is not inspected. It is recommended that you have an internal inspection of the chimney and/or a Gas Company evaluation of the fireplace beyond the scope of this inspection. Ceiling fan mounts cannot be checked by the inspector. Smoke and carbon monoxide detectors that are out of reach are not tested for functionality, all battery operated smoke detectors should be within reach for testing and maintenance. We recommend any mold or moisture damaged areas noted in the report be further evaluated for cause and correction by the appropriate licensed contractor.

**Bathrooms:** Bathtub and sink overflow drains and spa tub jet hoses are not inspected and leaks in these areas cannot be detected with this inspection. Shower pans are not leak tested and cannot be determined if properly water-proofed by the inspector, consult the termite report for any shower pan tests. Exterior or interior access panels are only inspected if readily accessible and operable (not sealed or painted or screwed shut), second story access panels are not opened. The home inspector cannot determine if shower pans or tubs are properly pitched for drainage. We recommend upgrading all electrical outlets to GFCI protection within 6 feet of all potential wet locations, however this may not be a requirement for the sale of a home based on the age of the home (this also applies to kitchen sinks, wet bar sinks and laundry sinks).

**Kitchen:** Appliances receive a limited inspection for basic functionality only, additional features are not tested. Appliances are NOT disassembled to evaluate the internal working parts of each appliance. The inspection cannot determine how well the dishwasher cleans the dishes. Disposal blades are not inspected. It cannot be determined how well the oven, range/cook-top or microwave cook food. Age, remaining life, BTU's, CFM's and other forms of efficiency or effectiveness are not determined with this inspection. Water purifying systems, instant hot systems and water softeners are not inspected. Non built-in appliances and built-in refrigerators are excluded from this report.

**Laundry:** Supply valves, laundry drain, gas valve and dryer vent cannot be tested whether a washing machine is present or not. Washer and dryer units are not inspected or turned on for testing during this inspection and are excluded from this report. Washer and dryers are not moved to inspect the walls/floors/other components behind them. Water supply valves that are left in the on position for a long period of time tend to leak when turned off or do not shut off completely. Drains are not pressure tested.

**Attic:** The inspector cannot determine, report on or test if asbestos materials exist in any area throughout the structure. When attic insulation is covering ceiling joists, we cannot completely inspect some areas due to inspector safety concerns. Most attics are not completely accessible due to limited space. Attic insulation and limited space will prevent the inspector from performing a complete inspection of the attic area, not all areas are accessible and will be determined at the inspector's discretion. The Inspector does not determine the R-value of insulation present or the efficiency or effectiveness of HVAC duct layout or design. Attic insulation is not touched, moved or otherwise disturbed during the inspection. Temperature sensors and fans for attic exhaust systems are not tested. Rodents: If there is visible evidence of rodents or other pests, it will be noted as such. Most rodent/pest infestation exists under attic insulation, in walls or in areas not visible to the inspector and cannot be identified with this inspection. It's recommended a pest inspection be performed beyond the scope of a home inspection whether or not evidence exists.

**Garage:** The garage is often the location where most storage occurs and receives a limited inspection when items are present. Personal items or other materials/possessions are not moved in any way to provide access to areas for inspection - areas of rafters, ceilings, firewall(s) or other walls should not be considered fully inspected if personal items or storage is present - defects may be present behind these items and not visible to the inspector at the time of inspection. Doors, windows, cabinets,

## DISCLAIMERS CONTINUED

counters, closets, slab areas, electrical areas, ventilation, plumbing areas or soffit(s) not fully accessible are not inspected, tested or evaluated. Firewall: fire rating labels are often not visible on finished drywall and cannot be determined with this inspection. Garage doors, hardware, openers and associated safety devices can only be inspected if these areas are clear of stored items and can be safely operated without disturbing other items in the garage. Garage doors, hardware and openers require periodic maintenance and servicing. Remote controls for openers are not tested. Door opener activator button should be minimum 54-inches above floor for safety.

Pressure sensors/systems are generally not tested due to the risk of damage if they are not properly operating - we recommend having a general service completed prior to regular use. We recommend checking permits for any converted garage areas or additional walls/ceilings or other alterations made to the garage.

**Heating & Air Conditioning:** This report does not indicate if the heater is on recall, a follow up with RecallChek.com is recommended. Electronic or Ultra violet air filters are not inspected. Inspector cannot determine if there is a crack in the firebox or if carbon monoxide is leaking in any part of the system. Not all registers can be tested for pressure flow, due to location, condition and operation of the heating & air conditioning system. Adjustable registers that are closed are not opened by the Inspector. Missing manufacturer labels prevent RecallChek (this is true for all appliances/systems at the structure). Age, remaining life, size or efficiency cannot be determined by the Inspector. The air conditioning system freon or other refrigerant levels are not checked or determined if leaking by the Inspector. Heaters, coil boxes, condensers and air compressors are NOT disassembled to evaluate the internal working parts. This inspection does not determine if the evaporator coil BTU size is the same as condensing unit size or any other mechanical efficiency.

**Water Heater:** The water heater is visually inspected only, the combustion/pilot doors are not removed for flame or burner condition inspection due to the potential for draft to burn out the pilot flame. Circulation pumps, TPR Valves and pressure tanks cannot be tested with inspection. Solar water heaters are not inspected. Tankless units that are not original to the structure should be further evaluated by a qualified tankless technician as there are many aspects that are beyond of the scope of a general home inspection. Age, remaining life, size or efficiency cannot be determined by the Inspector. Gas lines are not measured or sized for water heater needs. The Inspector cannot light the pilot flame on the water heater or any other appliance where a pilot flame is not already on.

**Roof:** The inspector cannot determine if a roof (or any part of the roof system) leaks at any time or under any weather conditions, no water or hose testing is performed during this inspection. If there are concerns or signs of possible roof leaks, please contact a licensed roofer to perform an additional inspection. Remaining roof life can only be determined by a licensed roofer. This applies to all roof areas evaluated during this inspection. Tile roofs, metal roofs or roof areas not accessible with a 12-foot ladder will receive a limited inspection from the ground or eaves only. Tile, metal or other materials that can be damaged will not be walked on by the Inspector. Chimney cavities are excluded from this inspection, recommend an internal chimney inspection be performed beyond the scope of the home inspection. Solar panels and tube globes are excluded from this report. Solar panels will prevent inspection of roof areas beneath them.

**Electrical/Gas:** Electrical panels are visually inspected only, the inspector does not perform a load calculation to determine service capacity adequacy. Some wire types cannot be determined due to wire casings cover wires entering the breakers. Panels with excess wiring are not completely visible due to amount of wires inside panel. Breakers are visually inspected only - the inspector does not perform any electrical stress tests on the system to determine if a breaker trips properly - including AFCI and GFCI breakers (consult an electrician for further evaluation, if this is a concern). Electrical and gas fires due to poor installation of wiring and faulty gas pipes cannot be determined by the inspector. Only accessible GFCIs with test and reset buttons are tested, the inspector does not determine which GFCI outlets may be linked to other areas of the structure. Ungrounded outlets may be present in older structures (pre-1965) even if the main or sub panels have been upgraded. The inspector cannot determine if all wiring has been updated. Expect to find ungrounded outlets in older homes (pre-1965) - this is not a defect. We recommend the gas supplier be contacted to safety check all fuel gas systems/appliances prior to purchase and occupancy. The Inspector cannot determine if a gas leak is present in any area of the home or underground at any time during the inspection. Carbon monoxide poisoning cannot be detected with this inspection, including all gas and propane systems interior and exterior of the structure. Gas supply valves are not turned or operated during this inspection. The internal condition of gas appliance ventilation exhaust pipes cannot be detected. Pilot lights and fire places are not lit by the inspector at any time, for any reason. It is the responsibility of the client to ensure that the main gas and electrical systems are on prior to the inspection. The requirement of gas line sediment traps is not determined by the inspector.

**Exterior Areas:** For all wood areas or damaged wooden areas and moisture problems (mold/mildew), consult the termite inspection report. See interior section of the report for additional window and door information. In no way, shape or form can the inspector determine if the exterior of the home is water tight or is built to prevent moisture intrusion, no hose or water testing is performed at this inspection. Stucco and siding require periodic seasonal maintenance, consult an exterior finish contractor for maintenance tips/schedules/suggestions. Fire pits, exterior fireplaces and exterior BBQ's are excluded from this inspection. We recommend adding anti-siphon/backflow preventers (if not already present) on all exterior hose bibs for optimum potable water protection. Property boundary lines and encroachment determinations are beyond the scope of a home inspection and are not inspected or included in this report - Consult with another qualified professional as needed for evaluation if concerns exist in this area. Zero lot lines prevent a complete inspection of areas on other properties. Common areas controlled by Home Owner's Associations are not included in this inspection. Areas not visible or accessible due to height/angle/vegetation/other forms of limited access are not included in this inspection. Inspector does not use specialized instruments to detect moisture, if any, under stucco or siding surfaces.

**Grounds:** This inspection cannot determine if patio and porch roofs, balconies or patio enclosures are water tight, no water/hose testing is performed. The Inspector does not perform any stress or destructive testing of the electrical system; Yard area electrical that is not readily visible and accessible may not be seen or inspected; Low voltage lighting/electrical systems, motion detectors, intercom, video/audio/security systems and electric outdoor heating systems are not inspected. Generally, it is typical for older homes not to have exterior outlets or switches, this is not a defect. Sprinklers on timers are not inspected, consult

## DISCLAIMERS CONTINUED

seller/HOA. Above ground pools, ponds, fountains, waterfalls, birdbaths, and associated equipment or pumps used for these items, are excluded from this report. Steep hillsides and inaccessible areas on the grounds are excluded from this report. It is highly recommend that all structures built on hillsides and slopes have a geological inspection performed to determine if the hillside/grading is stable.

This inspection cannot determine ground movement or drainage issues, the addition of drains may be needed in areas. Fences, walls or gates are not evaluated for security or design. The Inspector cannot determine if planter areas are leaking into the structure, consult seller disclosures or obtain further evaluation of these areas for any moisture intrusion issues.

**Foundation:** Sump pumps, septic tanks and sewer drain pipes from structure to street are excluded from this inspection. The Inspector does not perform calculations to determine exact square-feet of ventilation required at time of construction (this is also true for attic spaces). Some areas of a raised foundation may not be accessible due to limited space, plumbing piping, duct work obstructions, insulation, soil levels and stem walls. The inspector will not traverse any area deemed unsafe or where damage may be caused as a result, this is up to the sole discretion of the Inspector (this is also true for attic spaces). It is not always possible for the inspector to view every side/angle/connection of all plumbing pipes due to plumbing design/layout/approach angle/etc. Underground plumbing/pipes cannot be visually inspected. Pressure testing is not performed during this limited inspection. Drain scope inspections are recommended whether a defect is detected or not. Slab foundations are often covered and not visible; therefore the inspection is limited. Slab foundation leaks cannot be determined by the home inspector.

**Pool:** Solar panels/heating systems are excluded from report. Valves that are not labeled for the pool and/or spa jets are excluded from this report and may prevent proper testing and inspection. Underground plumbing cannot be inspected. Automatic pool fill float valves and electronic chlorine dispensers are excluded from this report. Ultraviolet light and/or salt chlorine generator type water treatment systems not included in this inspection. Water chemistry is not tested. Control panels/fixtures on the side of the pool or spa and any remote controls are not included in this inspection. Portable spas have a limited inspection - no internal parts are inspected. The inspector cannot determine if a pool or spa leaks. The inspector cannot determine the remaining life of any of the pool equipment. Safety pressure relief valves (if present) are not operated and are excluded from inspection; an internal evaluation of the heater parts is beyond the scope of this inspection. It is the buyer's full responsibility to ensure the pool area is in full compliance with the safety laws and codes. If there is no self containing fence around the pool, all doors from the structure leading to the pool and spa must be equipped with safety alarms and secondary latches above the reach of children. All gates leading to the pool must self close and be equipped with a latch five feet or higher from the ground. The fencing in all cases must be five feet tall.

**Plumbing:** Plumbing supply valves are visually inspected only and are not tested for functionality due to the potential for leakage - valves that are not used often will seize or freeze and are likely to leak when operated (opened/closed). Corrosion or rust is often a sign of slow leaking and should be further evaluated by a plumber if detected in the inspection or photos. If galvanized or cast iron plumbing is present in any part of the structure it is recommended that plumber further evaluate the plumbing system due to the age of the materials. Underground piping is not visible to the inspector, therefore cannot be evaluated by the inspector. Slab foundation leaks cannot be determined by the home inspector. The "plumbing type" section of the report includes a percentage approximation of the plumbing type, it is not a guarantee of the plumbing type in all areas. The inspector cannot see plumbing type or pinhole leaks inside walls, floors, slabs or other areas that may be covered. Leaks can occur after the inspection and are not the responsibility of the Inspector. Existing leaks, hidden leaks, or other leaks that occur from normal testing/inspection and subsequent damage from plumbing leaks are not the responsibility of the Inspector. This inspection also does not determine or identify geographic areas that are prone to defective materials or pinhole leaking issues. Consult seller's disclosures and qualified professionals/contractors if concerns exist in this area. Septic tanks, wells, pumps and associated equipment, water supply quantity and quality are not included in this inspection.

**\*Contractor References:** This report may contain a contractor reference and contractor contact information. Choosing a contractor is done solely at the risk of the client. The Elite Group cannot control the events that take place between contractors and customers and therefore cannot be held liable for any problems that may occur. References to contractors, their products and services, are provided "as is" without warranty of any kind, either expressed or implied. In no event shall The Elite Group be held liable for any incidental, indirect or consequential damages of any kind resulting from the information provided by each company and any business conducted as a result of such information. It is highly recommended that you check with your local licensing or business board for up to date and accurate information. When you contact a contractor you should:

1. Ask for and contact at least two customer references.
2. Find out how long they have worked in your area (familiarity with local building codes is important).
3. Ask if they are bonded (insured for damages and injuries on the job) Get a signed estimate for all parts and labor/installation.
4. You may wish to contact more than one contractor to ensure you are getting the best service and materials for your money.

This disclaimer applies to all references found on any and all of our report pages

**SEE CONTRACT FOR ADDITIONAL INFORMATION AND DESCRIPTION OF ITEMS**